

**AGENDA  
ITEM**

**23**



**CITY COUNCIL**  
**AGENDA STAFF REPORT**

**DATE:** May 6, 2026  
**TO:** Mayor and City Council  
**APPROVED BY:** Benjamin A. Martinez, City Manager *Bm*  
**REVIEWED BY:** Karla Chaparro, Finance Director *KC*  
**PREPARED BY:** Jesus Villegas, Public Works Director/City Engineer *JVP*  
**SUBJECT:** Informational Item: Heber Park Expansion Project.

=====  
**Recommendation:**

Informational Item: Heber Park Expansion Project.

**Background:**

The City of Calexico has received a grant from the State of California Department of Parks and Recreation in the amount of \$8,500,000 under Proposition 68 Statewide Park Development and Community Revitalization Program (SSP) for Heber Park Expansion Project. This project will construct and expand Heber Park to include the following components required by the SSP Grant:

- Multipurpose gym
- Soccer field
- Parking lot
- Outdoor basketball court
- Athletic track
- Walking trail
- Sport lighting (soccer field and outdoor basketball court)/lighting throughout the park
- Landscaping throughout the park
- Picnic tables/shades, bleachers, benches, etc. throughout the park

On October 19, 2020, the City of Calexico solicited proposals from qualified engineering professionals to provide architectural/engineering and project management services for

construction of multipurpose gymnasium, outdoor basketball court, outdoor soccer field, athletic track, walking pathway, parking lot, lighting, landscaping and recreation amenities at Heber Park. On November 19, 2020, the Office of the City Clerk received seven (7) proposals from the following firms:

1. Chen Ryan Associates, Inc.
2. DWL Architects
3. Jeff Katz Architecture (JKA)
4. Nicklaus Engineering, Inc.
5. Sanders, Inc. Architecture/Engineering
6. The Holt Group Architecture
7. Verde Design, Inc.

The proposals were reviewed by an evaluation committee composed of Acting City Engineer, former Council Member and Parks, Recreation, Beautification and Senior Services Commissioner. The consultants were evaluated based on the scope of work, experience, references and project schedule. An oral presentation and interview of the most qualified proposals, based on the selection criteria, was required before the evaluation committee. Oral presentations and interviews were held via Zoom by the following firms:

1. DWL Architects
2. Jeff Katz Architecture (JKA)

The final ranking was based on a combination of the oral presentation, interview and the written proposal submitted. The firm that scored the highest was Jeff Katz Architecture (JKA). On February 17, 2021, the City Council of the City of Calexico authorized the City Manager to sign Agreement of Professional Services with Jeff Katz Architecture (JKA) for Heber Park Expansion Project.

On January 24, 2023, JKA submitted the final plans, specifications and engineers cost estimate for Heber Park Expansion Project. During that time, the engineers' cost estimate was \$10,071,547 which exceeded the funding available.

On April 27, 2023, the City Council of the City of Calexico adopted Resolution No. 2023-23 authorizing the City Manager to execute grant application and agreements with the California Department of Transportation (Caltrans) for City of Calexico Heber Park Expansion Project. On April 28, 2023, Public Works staff submitted a \$5,000,000 grant application under the Clean California Local Grant Program (CCLGP) Cycle 2. On October 9, 2023, Caltrans published their list of awardees, and the City was not awarded any funds for Heber Park Expansion Project.

On June 5, 2024, the City Council of the City of Calexico directed City staff to contact the California Department of Parks and Recreation to request that the original scope of work for Heber Park Expansion Project be modified as follows:

Option No. 1 – Building Only

Scope of Work: The scope of work for Option No. 1 is to revise the plans and specifications to only include the multi-purpose building and reduce the parking lot.

City staff submitted requests to the building only but since the City received the \$8,500,000 through a competitive grant they City needs to build everything specified in the scope of work; therefore, our request to decrease the scope of work was denied.

**Discussion & Analysis:**

Back in March 2024, City staff submitted an appropriation request of \$5,000,000 through Congressman Raul Ruiz for Heber Park Expansion Project. On May 9, 2024, City staff were informed that Heber Park Expansion Project was selected by Congressman Ruiz to be one (1) of fifteen (15) projects that he would submit as a Community Project FY25. On February 4, 2026, after almost a two (2) year delay, the City of Calexico was awarded \$500,000 for the Heber Park Expansion Project. Although not the full amount requested, the City is very grateful to receive additional funds for the Heber Park Expansion Project.

As of March 31, 2026, the City's revenue and expenditure report is as follows:

Revenue and Expenditure(s) Report		
Revenue	Performance Period	Amount
State of California Dept. of Parks and Recreation	07/01/18-06/30/28	\$8,500,000.00
United States Dept. of Housing	To be Determined	\$500,000.00
	Sub-Total	\$9,000,000.00
Expenditure(s)		
Fund No. 412-90-999-56000-000 (Arch./Eng.)		\$747,373.42
	Sub-Total	\$747,373.42
Total Available		\$8,252,626.58

The Public Works Department staff are currently preparing a Request for Qualification/Design Build Proposal. The objective of the RFQ/Design Build is to select a qualified design build team that will prepare plans, specifications and construct said project. After the design build team is hired, staff will work with the team to value-engineer the project to meet the needs of the budget. Staff have already done some of this work on a preliminary basis and are confident that the project can be built on time, on budget and meeting all SSP Grant Requirements. After initial designs and cost estimates are done, Staff will conduct outreach to the community as directed by the City Council.

Please note that although the performance period for the State of California Dept. of Parks and Recreation ends on June 30, 2028, all construction needs to be completed three (3) months prior to the deadline (March 31, 2028). It is imperative that the City continue to move forward with said project to meet both Federal and State requirements. The following is a draft schedule of the project steps:

<b>Draft Project Schedule</b>	
Release of RFQ/Design Build	May, 2026
Review of Proposals	July, 2026
Sign Agreement with RFQ/ Design Build Team	August, 2026
Begin Design Work and Community Outreach	September -November, 2026
City Council Approval of Final Design	December, 2026
Begin Construction	January, 2027
Construction Completion	January, 2028
Project Close-Out	February, 2028

**Fiscal Impact:**

No fiscal impact at this time.

**Coordinated With:**

Public Works Department.

**Attachment(s):**

1. Heber Park Expansion Project Expenditure Report as of March 31, 2026.
2. Heber Park Expansion Project Rendering.

# ATTACHMENT #1

CITY OF CALEXICO  
 HEBER PARK EXPANSION PROJECT  
 SUMMARY OF EXPENSES  
 FUND NO. 412  
 STATE GRANT SW-13-003

FISCAL YEAR	ACCOUNT	VENDOR	DESCRIPTION	INVOICE #	INVOICE DATE	AMOUNT PAID	GRANT BALANCE \$8,500,000	DEPT. PARKS INVOICE NO.	CHECK DATE	CHECK NUMBER
2020-21	412-90-999-56004-000	Imperial Valley Press	AD for RFP for Architectural/Engineering Service	11433164	10/31/20	328.39	8,499,671.61	1	12/11/20	20357
2020-21	412-90-999-56001-000	ProTerra	Contract City Engineer - Engineering Services	20032.8	01/25/21	725.00	8,498,946.61	1	02/05/21	20588
2020-21	412-90-999-56001-000	ProTerra	Contract City Engineer - Engineering Services	20032.10	02/21/21	471.25	8,498,475.36	1	03/05/21	ACH
2020-21	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20458	03/31/21	13,977.20	8,484,498.16	1	04/29/21	ACH
2020-21	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20485	04/30/21	27,954.40	8,456,543.76	1	05/14/21	ACH
2020-21	412-90-999-56001-000	Orange Coast Title Co.	Preliminary Title Report for Heber Park Expansion Project	140-2237342-32-1	04/07/21	600.00	8,455,943.76	1	04/30/21	20946
2020-21	412-90-999-56001-000	Orange Coast Title Co.	Preliminary Title Report for Heber Park Expansion Project	140-2237335-32-1	04/07/21	600.00	8,455,343.76	1	05/06/21	20973
2020-21	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20516	05/31/21	34,943.00	8,420,400.76	1	06/11/21	ACH
2020-21	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20551	06/30/21	20,965.80	8,399,434.96	2	07/09/21	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20586	07/31/21	34,943.00	8,364,491.96	2	08/20/21	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20625	08/31/21	102,500.60	8,261,991.36	2	09/02/21	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20652	09/30/21	95,512.00	8,166,479.36	3	11/12/21	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20703	10/31/21	98,746.50	8,067,732.86	3	11/12/21	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20739	11/30/21	49,373.25	8,018,359.61	3	12/23/21	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20776	12/31/21	39,498.60	7,978,861.01	3	01/07/22	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20830	01/31/22	39,540.65	7,939,320.36	4	2/18/22	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20878	02/28/22	23,732.80	7,915,587.56	4	3/30/22	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	20946	03/31/22	17,799.60	7,897,787.96	4	4/12/22	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	21068	05/31/22	11,866.40	7,885,921.56	4	6/30/22	ACH
2021-22	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	21113	06/30/22	11,866.40	7,874,055.16	4	6/30/22	ACH
2022-23	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	21161	07/31/22	9,493.12	7,864,562.04	5	09/02/22	ACH
2022-23	412-90-999-56001-000	Imperial Irrigation District	Review of plans for Heber Park Expansion Project	4032702	08/08/22	1,000.00	7,863,562.04	5	09/02/22	22911
2022-23	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	21219	08/31/22	4,746.56	7,858,815.48	5	09/16/22	ACH
2022-23	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	21276	09/30/22	4,746.56	7,854,068.92	5	10/14/22	ACH
2022-23	412-90-999-56001-001	Imperial Irrigation District	Construction Services for Heber Park Expansion Project	4032702	10/26/22	87,255.31	7,766,813.61	5	11/10/22	23201
2022-23	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	21347	10/31/22	5,594.10	7,761,219.51	5	11/22/22	ACH
2022-23	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	21568	02/28/23	2,592.93	7,758,626.58	6	05/12/23	ACH
2024-25	412-90-999-56001-000	Jeff Katz Architecture	Architecture/Engineering Services for Heber Park Expansion Project	22697	01/31/25	6,000.00	7,752,626.58	6	02/14/25	ACH

**\$ 747,373.42**

ATTACHMENT #2

# CITY OF CALEXICO HEBER PARK EXPANSION 201 ROOSEVELT ST. CALEXICO, CA 92231



PROJECT DATA	
<b>PROJECT ADDRESS:</b>	201 ROOSEVELT ST. CALEXICO, CA 92231
<b>ASSESSOR'S PARCEL NO.:</b>	024-12401 024-27401
<b>OWNER:</b>	PUBLIC WORKS DEPARTMENT 400 ROCKY AVE. CALEXICO, CA 92231
<b>GOVERNING AGENCY:</b>	CITY OF CALEXICO BUILDING DEPARTMENT 400 ROCKY AVE. CALEXICO, CA 92231
<b>GOVERNING CODES:</b>	3019 CALIFORNIA BUILDING CODE 3019 CALIFORNIA FIRE CODE 3019 CALIFORNIA FIRE CODE 3019 CALIFORNIA ELECTRICAL CODE 3019 CALIFORNIA PLUMBING CODE 3019 CALIFORNIA MECHANICAL CODE 3019 CALIFORNIA GAS BUILDING & MECHANICAL CODE
<b>SCOPE OF WORK:</b>	DEMOLITION OF EXISTING RECREATION BUILDING AND RECREATION BUILDING CONSTRUCTION OF A NEW RECREATION BUILDING INCLUDING CONSTRUCTION OF A NEW RECREATION BUILDING INCLUDING CONSTRUCTION OF OUTDOOR SPACES INCLUDING WALKWAY PARADE DECK, WALKWAY, PLAY AREA, RECREATION AREA, COVERED PLAY AREA AND WALKWAY, FENCE, GROUND COVER, AND LANDSCAPE. WORK ALSO INCLUDES: - SITE GRADING - SITE UTILITIES AND LANDSCAPING - SITE IMPROVEMENTS
<b>OCCUPANCY GROUP:</b>	ASSEMBLY GROUP A-3 ASSEMBLY GROUP A-4
<b>CONSTRUCTION TYPE:</b>	TYPE VA, SPRINKLED
<b>BUILDING AREA:</b>	<b>ALLOWABLE</b> <b>ACTUAL</b>
GROUP A-3	24,000 SF 33,300 SF
GROUP A-4	24,000 SF 7,500 SF
TOTAL	24,000 SF 40,800 SF
<b>SITE AREA:</b>	733,492 SF (16.47 ACRES)
<b>NUMBER OF STORES:</b>	1
<b>BUILDING HEIGHT:</b>	<b>ALLOWABLE</b> <b>ACTUAL</b>
GROUP A-3	40'0" 30'0"
GROUP A-4	40'0" 17'0"
<b>PARKING:</b>	<b>REQUIRED</b> <b>ACTUAL</b>
ACCESSIBLE PARKING SPACES	1 2
STANDARD PARKING SPACES	12 25
TOTAL	13 27

CITY OF CALEXICO - MUNICIPAL CODE 17.18.180 - UNPAVILIONED PARKING PROVIDED FOR PUBLIC USE TO BE PROVIDED BY CITY COUNCIL. COUNTY AREA INCLUDED BY CALCULATION - NONE.

**NOTE:**  
A REGISTERED CALIFORNIA ARCHITECT, CIVIL OR STRUCTURAL ENGINEER SHALL VERIFY THE WORK OF CONSTRUCTION AND SUBMIT AFFIDAVITS ATTACHED TO THE COMMENCEMENT OF THE CONSTRUCTION UNDER THE APPLICABLE CONTRACT DOCUMENTS.

**DESIGNED BY:**  
THE FOLLOWING WORK SHALL BE APPROVED AS A DESIGNED STRUCTURAL AND ELECTRICAL ENGINEER:  
- ARCHITECTURE  
- MECHANICAL  
- ELECTRICAL  
- LANDSCAPE ARCHITECTURE

PROJECT TEAM	
<b>ARCHITECTURE:</b> JKA ARCHITECTURE 4330 DEL CERRILLO BLVD SAN DIEGO, CA 92121 PH: 619-511-1177 WWW.JKAARCHITECTURE.COM	<b>ELECTRICAL:</b> ELECTRICAL CONSULTING, INC. 1150 CHANDLER DR., SUITE 200 SAN DIEGO, CA 92121 PH: 619-592-1000 WWW.ELECTRICALCONSULTING.COM
<b>LANDSCAPE:</b> LSC LANDSCAPE ARCHITECTURE 2144 HEMLOCK ST. SAN DIEGO, CA 92103 PH: 619-447-1177 WWW.LSCLANDSCAPE.COM	<b>MECHANICAL:</b> M&H MECHANICAL ASSOCIATES 4330 DEL CERRILLO BLVD SAN DIEGO, CA 92121 PH: 619-511-1177 WWW.M&HMECHANICAL.COM
<b>STRUCTURAL:</b> ONE ENGINEERING, INC. 1700 UNIVERSITY CITY BLVD, SUITE 400 SAN DIEGO, CA 92108 PH: 619-592-1000 WWW.ONEENGINEERING.COM	<b>GEOTECHNICAL ENGINEER:</b> GEOCON, INC. 1150 CHANDLER DR., SUITE 200 SAN DIEGO, CA 92121 PH: 619-592-1000 WWW.GEOCON.COM
<b>MECHANICAL:</b> M&H MECHANICAL ASSOCIATES 4330 DEL CERRILLO BLVD SAN DIEGO, CA 92121 PH: 619-511-1177 WWW.M&HMECHANICAL.COM	<b>COST ESTIMATOR:</b> J.R. CONWAY & ASSOCIATES 735 SPRING AVENUE, SUITE 200 SAN DIEGO, CA 92101 PH: 619-592-1000 WWW.JRCONWAY.COM

**LEGAL DESCRIPTION**

PARCEL: 024-12401-024-27401  
LEGAL DESCRIPTION: BLOCK 118, 201 ROOSEVELT ST.

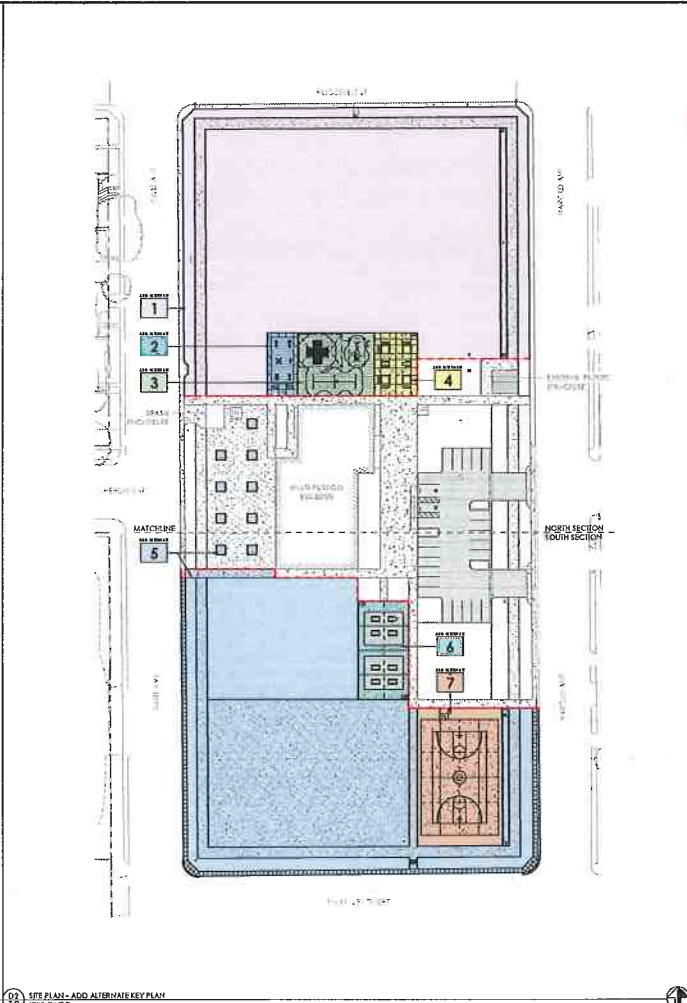
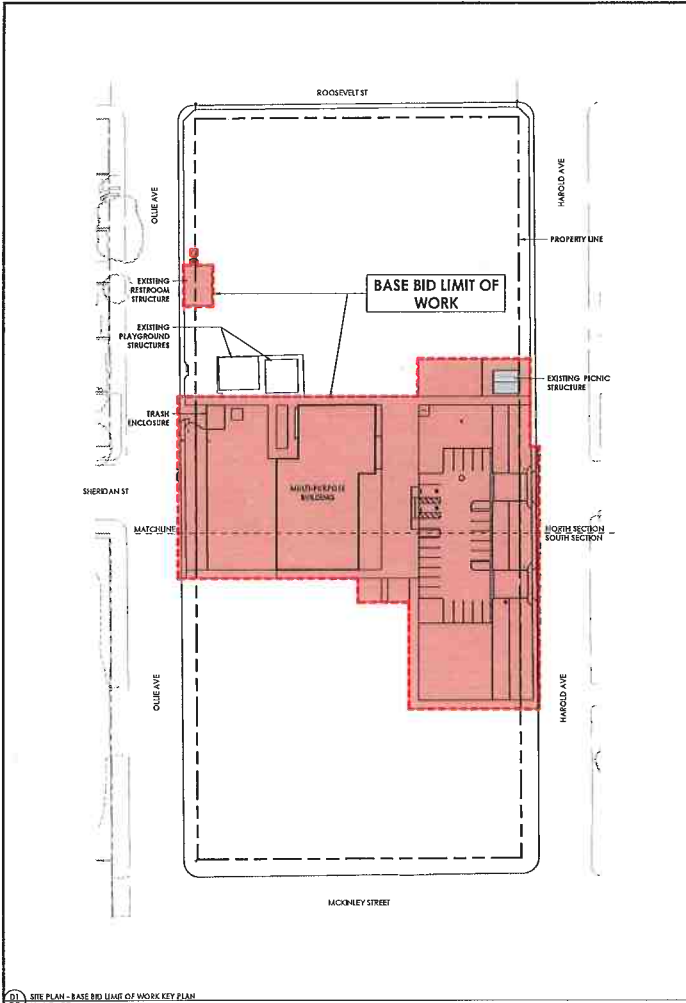
**PROJECT:**  
CITY OF CALEXICO  
HEBER PARK EXPANSION  
201 ROOSEVELT ST.  
CALEXICO, CA 92231



Description: \_\_\_\_\_  
Date: \_\_\_\_\_  
NO SET 01/23/23

Project Number: 210203  
Prepared By: JKA  
Checked By: JKA  
Drawn By: JKA  
Sheet Title: TITLE SHEET

T-1





**JKA**  
ARCHITECTURE

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PROJECT:

CITY OF CALIFORNIA  
HEBER PARK EXPANSION  
201 ROOSEVELT ST.  
CALIFORNIA, CA 92231



CALIFORNIA

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Description: Date:  
BD SET 01/23/23

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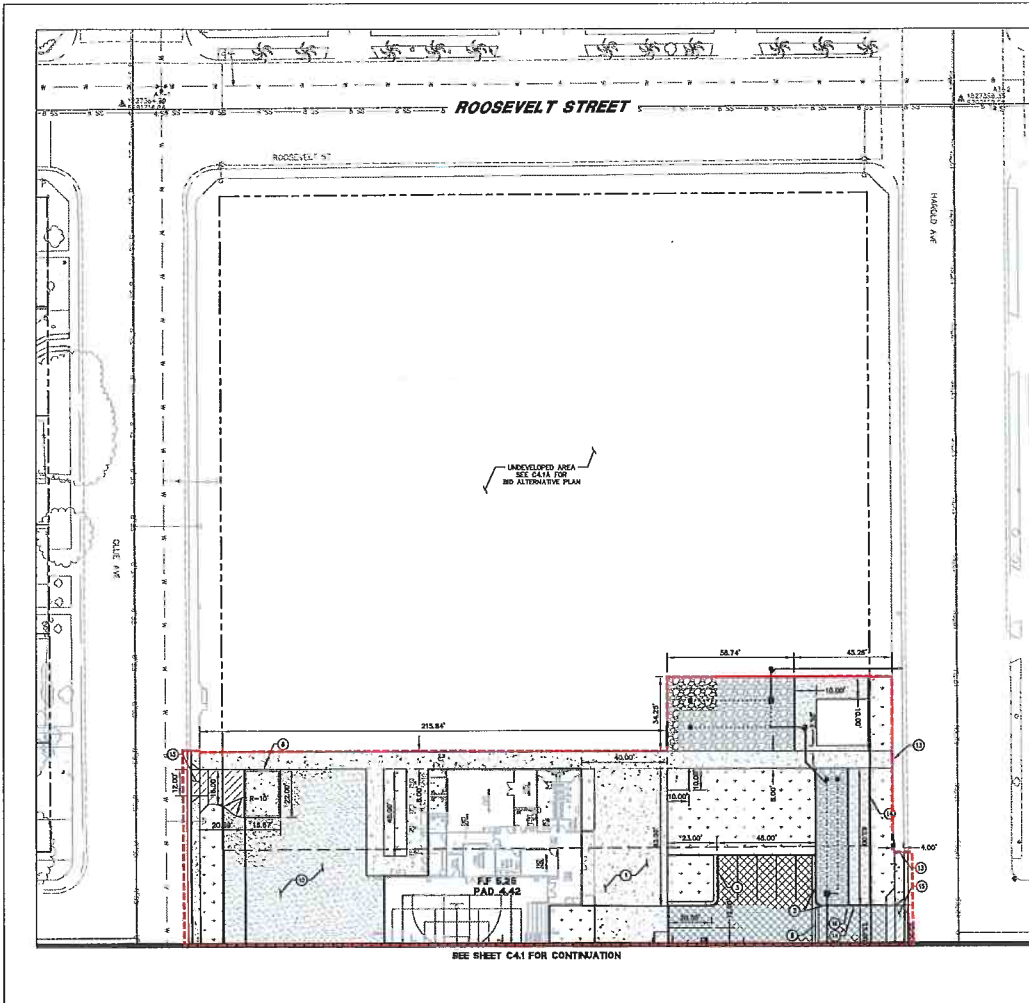
Project Number: 212003  
 Approved By: [Signature]  
 Checked By: [Signature]  
 Drawn By: [Signature]  
 Title: [Signature]

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BASE BID &  
ADD  
ALTERNATE KEY  
PLANS

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**T-9**



- LEGEND:**
- CONCRETE TIE-IN
  - 4" PERFORATED PVC PIPE
  - FLOW LINE
  - PLANTING AREA
  - FLEXIBLER CONCRETE PAVEMENT
  - VEHICULAR CONCRETE PAVEMENT
  - VEHICULAR ASPHALT PAVEMENT
  - DECOMPOSED GRANITE PAVEMENT
  - RESIDENT SURFACE PER LANDSCAPE DRAWINGS
  - BIO-TREATMENT AREAS
  - AFFECTED AREAS IN BID ALTERNATIVE

- SITE PLAN CONSTRUCTION NOTES:**
1. CONSTRUCT FLEXIBLER CONCRETE PAVEMENT PER DETAIL 2/02.0
  2. CONSTRUCT VEHICULAR CONCRETE PAVEMENT PER DETAIL 4/02.0
  3. CONSTRUCT 4" VERTICAL CURB PER DETAIL 1/02.0
  4. NEW ADA STALL STRIPING AND MARKINGS PER DETAIL 1/02.0
  5. SAWCUT AND MATCH EXISTING PAVEMENT
  6. CONSTRUCT VALLEY GUTTER PER DETAIL 8/02.0
  7. CONSTRUCT CURB RAMP PER DETAIL 18/02.1
  8. CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL DRAWINGS
  9. CONSTRUCT RESIDENT SURFACES PER LANDSCAPE DRAWINGS
  10. NEW DECOMPOSED GRANITE PAVEMENT PER LANDSCAPE DRAWINGS
  11. NEW PLANTING AREA
  12. CONSTRUCT VEHICULAR ASPHALT PAVEMENT PER DETAIL 3/02.0
  13. CONNECT TO EXISTING CONCRETE PER DETAIL 17/02.1
  14. CONSTRUCT CONCRETE FLUSH CURB PER DETAIL 12/02.1
  15. CONSTRUCT DRIVEWAY TYPE B PER DETAIL 13/02.1
  16. CONSTRUCT CURBSIDE TRANSITION PER DETAIL 15/02.1
  17. CONSTRUCT CONCRETE STAIRS PER SUPPC STD. 840-4. SEE DETAIL 14/02.1.
  18. HANDRAILS PER LANDSCAPE DRAWINGS
  19. INSTALL DETECTABLE WARNING SURFACE PER CITY STD. SEE DETAIL 18/02.1
  20. CONSTRUCT CURB RAMP DETAIL B PER CITY OF CALEDONIA STD. HANDICAP ACCESS RAMP & CURB RETURN DETAIL B. SEE DETAIL 16/02.1

- SITE PLAN NOTES:**
1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.
  2. THIS IS NOT A STAKING PLAN BUT A CHECK AND VERIFICATION OF THE MAJOR DIMENSIONS AS SHOWN ON THE LANDSCAPE SITE PLAN.
  3. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, PROPERTY OR RIGHT-OF-WAY LINE OR CENTER OF DRIVEWAYS.
  4. THE CONSTRUCTION SUPERVISOR IS RESPONSIBLE TO REPORT ANY AND ALL DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
  5. CAD FILES ARE AVAILABLE UPON REQUEST FOR CONSTRUCTION STAKING.
  6. SEE LANDSCAPE PLANS FOR ADDITIONAL DIMENSIONS AND INFORMATION.

BASE BID LIMIT OF WORK, SEE T-9 FOR BASE BID & ADD ALTERNATE KEY PLANS



**JKA**  
ARCHITECTURE  
201 ROOSEVELT ST.  
CALEDONIA, CA 92321



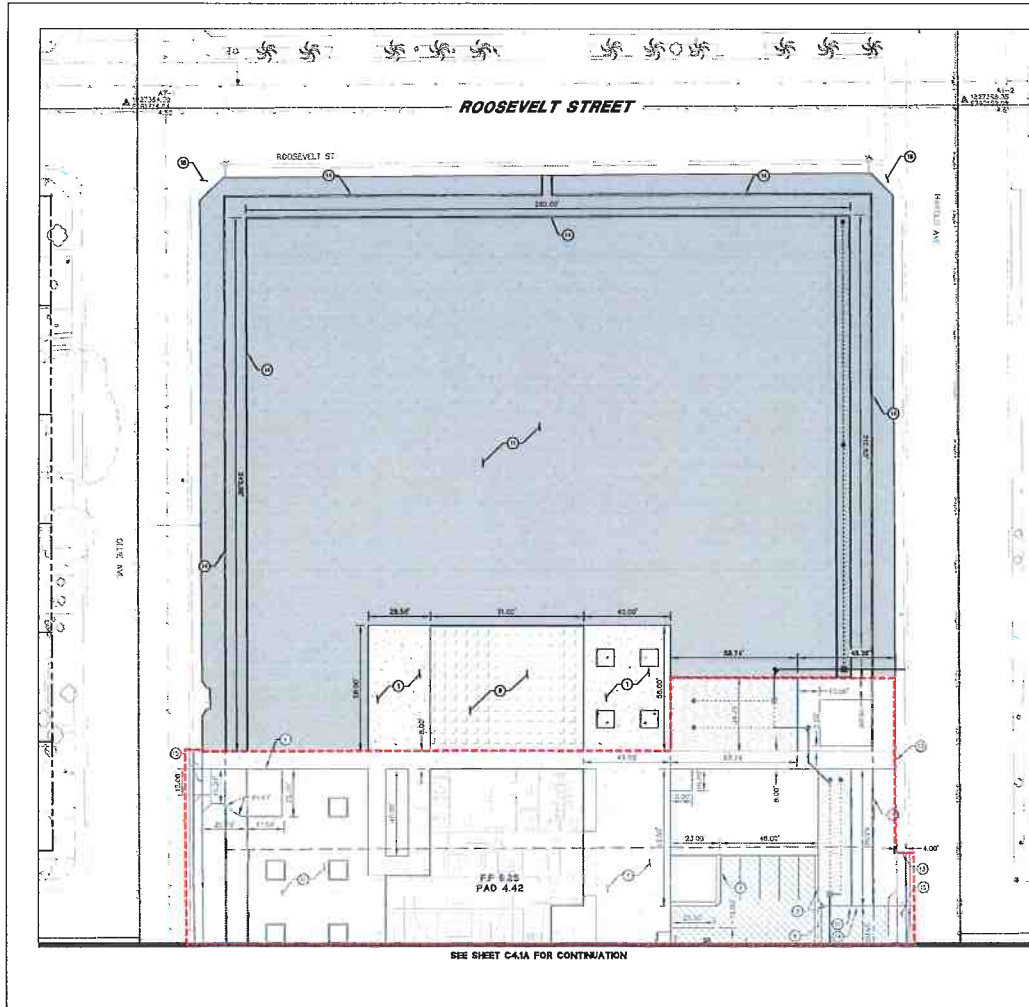
PROJECT:  
CITY OF CALEDONIA  
HEBER PARK EXPANSION  
201 ROOSEVELT ST.  
CALEDONIA, CA 92321



Drawn by: [blank] Date: [blank]  
BID SET 01/23/23

Project Number: 210203  
Approved by: [blank]  
Checked by: [blank]  
Drawn by: [blank]  
Sheet Title: SITE PLAN

C4.0



**LEGEND:**

- CONCRETE 2x-4x
- 4" PERFORATED PVC PIPE
- FLOW LINE
- PLANTING AREA
- PEDESTRIAN CONCRETE PAVEMENT
- VEHICULAR CONCRETE PAVEMENT
- VEHICULAR ASPHALT PAVEMENT
- DECOMPOSED GRANITE PAVEMENT
- RESIDENT SURFACE FOR LANDSCAPE DRAWINGS
- BIO-TREATMENT AREAS
- AFFECTED AREAS IN BID ALTERNATIVE

**SITE PLAN CONSTRUCTION NOTES:**

1. CONSTRUCT PEDESTRIAN CONCRETE PAVEMENT PER DETAIL 2/C&D
2. CONSTRUCT VEHICULAR CONCRETE PAVEMENT PER DETAIL 4/C&D
3. CONSTRUCT 4" VERTICAL CURB PER DETAIL 1/2/C&D
4. NEW ADA STALL STRIPS AND WARNINGS PER DETAIL 1/3/C&D
5. SAWCUT AND MATCH EXISTING PAVEMENT
6. CONSTRUCT VALLEY GUTTER PER DETAIL 11/C&D
7. CONSTRUCT CURB RAMP PER DETAIL 11/C&D
8. CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL DRAWINGS
9. CONSTRUCT RESIDENT SURFACES PER LANDSCAPE DRAWINGS
10. NEW DECOMPOSED GRANITE PAVEMENT PER LANDSCAPE DRAWINGS
11. NEW PLANTING AREA
12. CONSTRUCT VEHICULAR ASPHALT PAVEMENT PER DETAIL 3/C&D
13. CONNECT TO EXISTING CONCRETE PER DETAIL 12/C&D
14. CONSTRUCT CONCRETE FLUSH CURB PER DETAIL 12/C&D
15. CONSTRUCT DRIVEWAY TYPE B PER DETAIL 13/C&D
16. CONSTRUCT CURB RAMP TRANSITION PER DETAIL 13/C&D
17. CONSTRUCT CONCRETE STAIRS PER SSPAC STD. 840-4, SEE DETAIL 14/C&D. HANDRAILS PER LANDSCAPE DRAWINGS
18. INSTALL DETECTABLE WARNING SURFACE PER CITY STD., SEE DETAIL 16/C&D
19. CONSTRUCT CURB RAMP DETAIL B PER CITY OF CALEDONIA STD. HANDICAP ACCESS RAMP & CURB RETURN DETAIL D, SEE DETAIL 16/C&D

**SITE PLAN NOTES:**

1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.
2. THERE IS NOT A STAMPED PLAN SET & CHECK AND VERIFICATION OF THE MAJOR DIMENSIONS AS SHOWN ON THE LANDSCAPE SITE PLAN.
3. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, PROPERTY OR RIGHT-OF-WAY LINE, OR CENTER OF DRIVEWAYS.
4. THE CONSTRUCTION SURVEYOR IS RESPONSIBLE TO REPORT ANY AND ALL DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
5. CAD FILES ARE AVAILABLE UPON REQUEST FOR CONSTRUCTION STAKING.
6. SEE LANDSCAPE PLANS FOR ADDITIONAL DIMENSIONS AND INFORMATION.

BASE BID LIMIT OF WORK, SEE T-8 FOR BASE BID & ADD ALTERNATE KEY PLANS



**JKA**  
ARCHITECTURE  
INCORPORATED



PROJECT:  
CITY OF CALEDONIA  
HEBER PARK EXPANSION  
201 ROOSEVELT ST.  
CALEDONIA, CA 92231



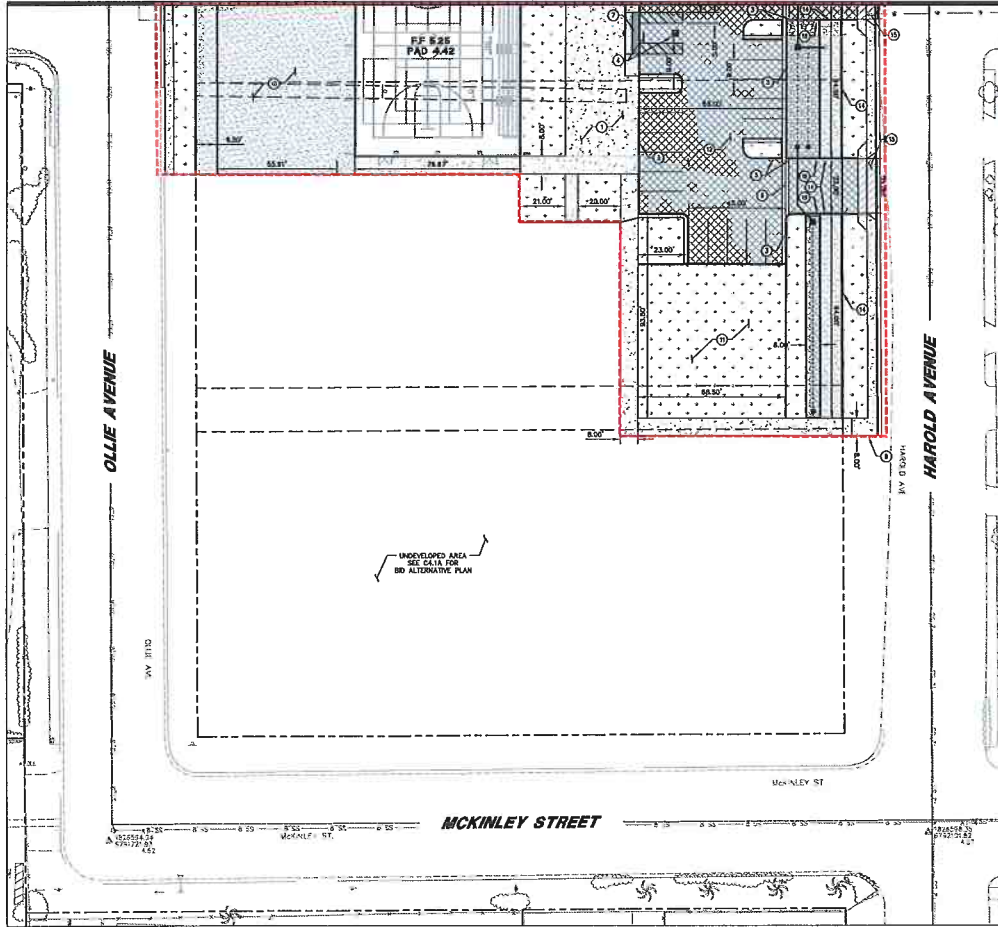
Description: Date:  
80 SET 01/23/23

Project Number: 210203  
Approved By: EK  
Checked By: ML  
Drawn By: ML

Sheet No:  
SITE PLAN  
BID  
ALTERNATIVE

C4.0A

SEE SHEET CAO FOR CONTINUATION



**LEGEND:**

- CONCRETE TIE-IN
- 4" PERFORATED PVC PIPE
- FLOW LINE
- PLANTING AREA
- PEDESTRIAN CONCRETE PAVEMENT
- VEHICULAR CONCRETE PAVEMENT
- VEHICULAR ASPHALT PAVEMENT
- DECOMPOSED GRANITE PAVEMENT
- RESIDENT SURFACE PER LANDSCAPE DRAWINGS
- BIORETREATMENT AREAS
- AFFECTED AREAS IN BID ALTERNATE

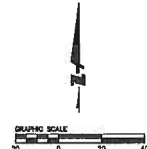
**SITE PLAN CONSTRUCTION NOTES:**

1. CONSTRUCT PEDESTRIAN CONCRETE PAVEMENT PER DETAIL 2/CB.0
2. CONSTRUCT VEHICULAR CONCRETE PAVEMENT PER DETAIL 4/CB.0
3. CONSTRUCT 8" VERTICAL CURB PER DETAIL 12/CB.0
4. NEW ADA STALL STRIPES AND MARKINGS PER DETAIL 1/CB.0
5. SAWCUT AND MATCH EXISTING PAVEMENT
6. CONSTRUCT VALLEY GUTTER PER DETAIL 14/CB.0
7. CONSTRUCT CURB RAMP PER DETAIL 16/CB.1
8. CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL DRAWINGS
9. CONSTRUCT RESIDENT SURFACES PER LANDSCAPE DRAWINGS
10. NEW DECOMPOSED GRANITE PAVEMENT PER LANDSCAPE DRAWINGS
11. NEW PLANTING AREA
12. CONSTRUCT VEHICULAR ASPHALT PAVEMENT PER DETAIL 5/CB.0
13. CONNECT TO EXISTING CONCRETE PER DETAIL 17/CB.1
14. CONSTRUCT CONCRETE FLUSH CURB PER DETAIL 12/CB.1
15. CONSTRUCT DRAINWAY TYPE B PER DETAIL 13/CB.1
16. CONSTRUCT CURBSIDE TRANSITION PER DETAIL 15/CB.1
17. CONSTRUCT CONCRETE STAIRS PER SPPM STD. 840-4, SEE DETAIL 14/CB.1. MARKINGS PER LANDSCAPE DRAWINGS
18. INSTALL RETRACTABLE WARNING SURFACE PER CITY STD., SEE DETAIL 18/CB.1
19. CONSTRUCT CURB RAMP DETAIL B PER CITY OF CALICO STD. HANDICAP ACCESS RAMP & CURB RETURN DETAIL 5, SEE DETAIL 16/CB.1

**SITE PLAN NOTES:**

1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.
2. THIS IS NOT A STAKING PLAN BUT A CHECK AND VERIFICATION OF THE MAJOR DIMENSIONS AS SHOWN ON THE LANDSCAPE SITE PLAN.
3. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, PROPERTY OR RIGHT-OF-WAY LINE, OR CENTER OF DRIVEWAYS.
4. THE CONSTRUCTION SUPERVISOR IS RESPONSIBLE TO REPORT ANY AND ALL DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
5. CAO FILES ARE AVAILABLE UPON REQUEST FOR CONSTRUCTION STAKING.
6. SEE LANDSCAPE PLANS FOR ADDITIONAL DIMENSIONS AND INFORMATION.

BASE BID LIMIT OF WORK, SEE T-8 FOR BASE BID & ADD ALTERNATE KEY PLANS



**JKA ARCHITECTURE**  
 123456789  
 123456789



PROJECT:  
 CITY OF CALICO  
 HEBER PARK EXPANSION  
 201 ROCKEVELL ST.  
 CALICO, CA 92221



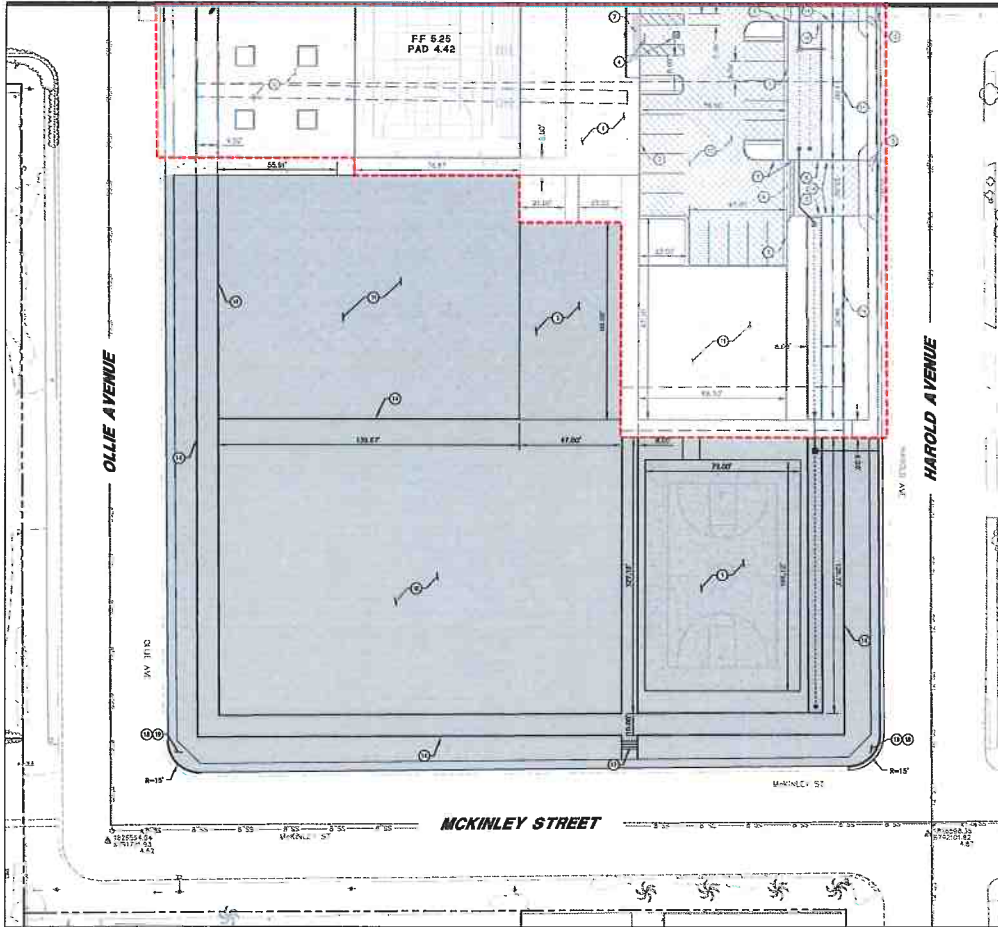
Description: Date:  
 SD SET 01/23/23

Project Number: 210203  
 Approved By: [Signature]  
 Checked By: M.  
 Drawn By: M.  
 Paved By: M.

SITE PLAN

C4.1

SEE SHEET C4.0A FOR CONTINUATION



**LEGEND:**

- CONCRETE TECH
- 4" PERFORATED PVC PIPE
- FLOW LINE
- PLANTING AREA
- PEDESTRIAN CONCRETE PAVEMENT
- VEHICULAR CONCRETE PAVEMENT
- VEHICULAR ASPHALT PAVEMENT
- DECOMPOSED GRANITE PAVEMENT
- RESIDENT SURFACE PER LANDSCAPE DRAWINGS
- BIO-TREATMENT AREAS
- AFFECTED AREAS IN BID ALTERNATIVE

**SITE PLAN CONSTRUCTION NOTES:**

1. CONSTRUCT PEDESTRIAN CONCRETE PAVEMENT PER DETAIL 2/CB.0
2. CONSTRUCT VEHICULAR CONCRETE PAVEMENT PER DETAIL 4/CB.0
3. CONSTRUCT 4" VERTICAL CURB PER DETAIL 5/CS.0
4. NEW ADA SLOPE STRIPS AND MARKINGS PER DETAIL 1/CB.0
5. SMOOTH AND MATCH EXISTING PAVEMENT
6. CONSTRUCT VALLEY GUTTER PER DETAIL 6/CB.0
7. CONSTRUCT CURB RAMP PER DETAIL 18/CA.1
8. CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL DRAWINGS
9. CONSTRUCT RESIDENT SURFACES PER LANDSCAPE DRAWINGS
10. NEW DECOMPOSED GRANITE PAVEMENT PER LANDSCAPE DRAWINGS
11. NEW PLANTING AREA
12. CONSTRUCT VEHICULAR ASPHALT PAVEMENT PER DETAIL 3/CB.0
13. CONNECT TO EXISTING CONCRETE PER DETAIL 17/CA.1
14. CONSTRUCT CONCRETE FLUSH CURB PER DETAIL 12/CA.1
15. CONSTRUCT DRIVEWAY TYPE B PER DETAIL 15/CA.1
16. CONSTRUCT CURBSIDE TRANSITION PER DETAIL 15/CA.1
17. CONSTRUCT CONCRETE STAIRS PER SPPING STD. 840-4, SEE DETAIL 14/CB.1. PARALLEL PER LANDSCAPE DRAWINGS
18. INSTALL DETECTABLE WARNING SURFACE PER CITY STD., SEE DETAIL 18/CA.1
19. CONSTRUCT CURB RAMP DETAIL B PER CITY OF CALEXCO STD. HANDICAP ACCESS RAMP A CURB RETURN DETAIL B, SEE DETAIL 18/CA.1

**SITE PLAN NOTES:**

1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.
2. THERE IS NOT A STAIR PLAN REF IN EXIST AND NOTIFICATION OF THE MAJOR DIMENSIONS AS SHOWN ON THE LANDSCAPE SITE PLAN.
3. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, PROPERTY OR RIGHT-OF-WAY LINE, OR CENTER OF DRIVEWAYS.
4. THE CONSTRUCTION SUPERVISOR IS RESPONSIBLE TO REPORT ANY AND ALL DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
5. CAD FILES ARE AVAILABLE UPON REQUEST FOR CONSTRUCTION STAFFING.
6. SEE LANDSCAPE PLANS FOR ADDITIONAL DIMENSIONS AND INFORMATION.

BASE BID LIST OF WORK, SEE T4 FOR BASE BID & ADD ALTERNATE KEY PLANS



**JKA ARCHITECTURE**  
 REGISTERED ARCHITECTS  
 201 ROCKEFELLER ST.  
 CALEXCO, CA 92231



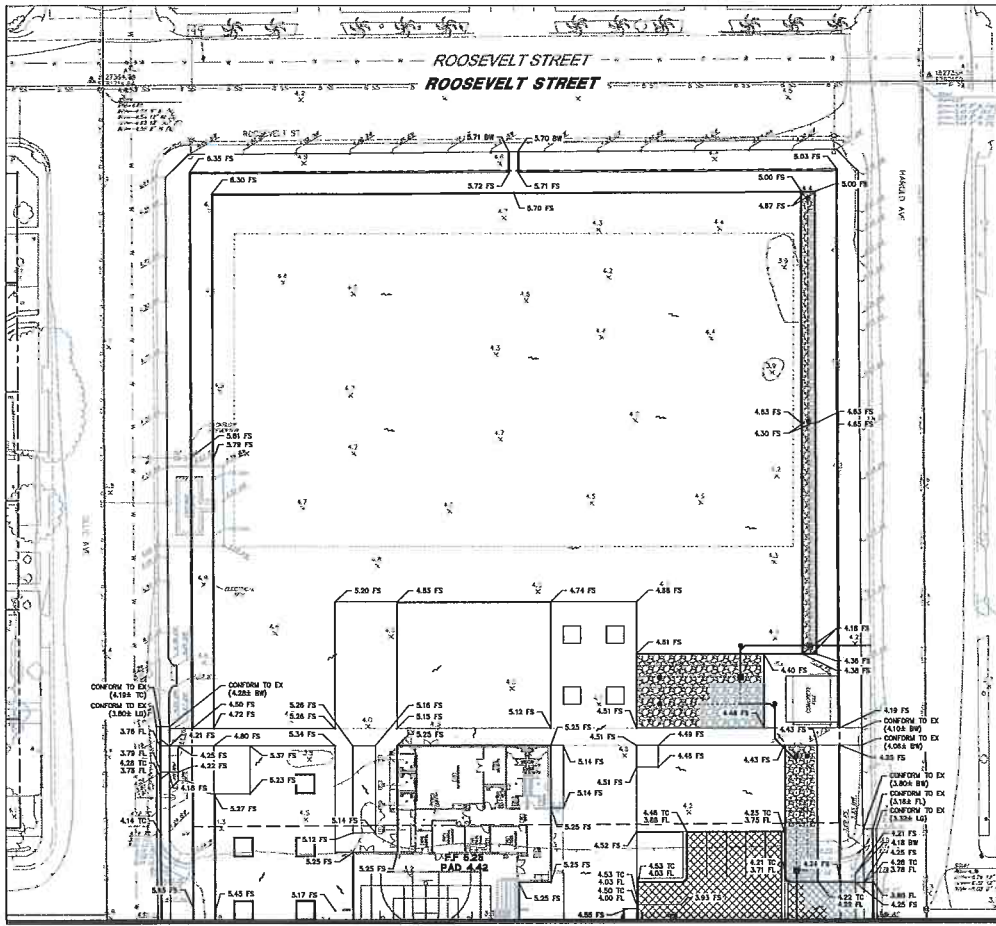
**PROJECT:**  
 CITY OF CALEXICO  
 HESPER PARK EXPANSION  
 201 ROCKEFELLER ST.  
 CALEXICO, CA 92231



Description: Date:  
 BID SET 01/23/20

Project Number: 210203  
 Approved by: MK  
 Checked by: MK  
 Drawn by: MK  
 Sheet No.:  
 SITE PLAN  
 BID  
 ALTERNATIVE

C4.1A



SEE SHEET C5.1 FOR CONTINUATION

**LEGEND:**

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED GRADE ELEVATION
- PROPOSED GRADE SLOPE
- CONCRETE CONNECTION LINE
- 4" PERFORATED PVC PIPE
- FLOW LINE
- PLANTING AREA
- PEDESTRIAN CONCRETE PAVEMENT
- VEHICULAR CONCRETE PAVEMENT
- VEHICULAR ASPHALT PAVEMENT
- DECOMPOSED GRANITE PAVEMENT
- RESILIENT SURFACE PER LANDSCAPE DRAINAGES
- RETREATMENT AREAS
- AFFECTED AREAS IN BID ALTERNATIVE

- NOTES:**
- ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.
  - ALL DESIGN ELEVATIONS SHOWN ON THE GRADING SHEETS ARE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
  - EXISTING OBSTACLES CONFLICTING WITH PROPOSED STRIPING LAYOUT TO BE COMPLETELY REMOVED VIA SANDBLASTING.



**JKA ARCHITECTURE**  
 201 ROOSEVELT ST., CALEXICO, CA 92521



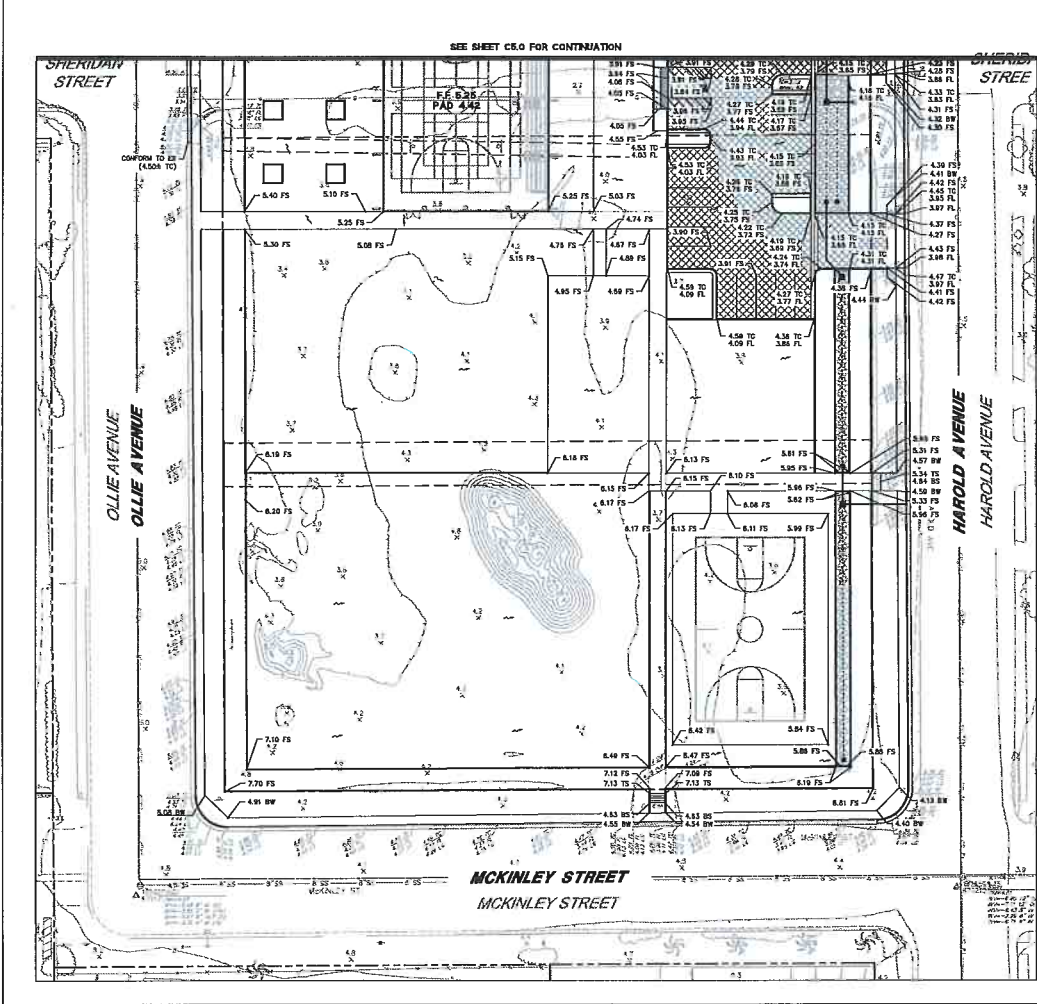
**CITY OF CALEXICO**  
 HEBER PARK EXPANSION  
 201 ROOSEVELT ST., CALEXICO, CA 92521



Description: Date:  
 BID SET 01/23/23

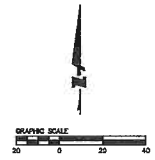
Project Number: 210203  
 Approved by: [Signature]  
 Checked by: [Signature]  
 Drawn by: [Signature]  
 Sheet Title: GRADING PLAN

C5.0



- Legend:**
- XXX --- EXISTING CONTOUR LINE
  - XXX --- PROPOSED CONTOUR LINE
  - XXX.XX IN 20.00 FT PROPOSED GRADE ELEVATION
  - XXX.XX PROPOSED GRADE GLOBE
  - CONCRETE CONNECTION LINE
  - 4" PERFORATED PVC PIPE FLOW LINE
  - FLOW LINE
  - [Pattern] PLANTING AREA
  - [Pattern] PEDESTRIAN CONCRETE PAVEMENT
  - [Pattern] VEHICULAR CONCRETE PAVEMENT
  - [Pattern] VEHICULAR ASPHALT PAVEMENT
  - [Pattern] DECOMPOSED GRANITE PAVEMENT
  - [Pattern] RETENTIVE SURFACE PER LANDSCAPE DRAWINGS
  - [Pattern] BIOTREATMENT AREAS
  - [Pattern] AFFECTED AREAS BY BID ALTERNATIVE

- NOTES:**
1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIALLY CALLED OUT AS FEET AND INCHES.
  2. ALL DESIGN ELEVATIONS SHOWN ON THE GRADING SHEETS ARE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
  3. EXISTING STRIPING CONFLICTING WITH PROPOSED STRIPING LAYOUT TO BE COMPLETELY REMOVED VIA RECONSTRUCTION.



**JKA ARCHITECTURE**  
REGISTERED ARCHITECTS

---

**CITY OF CALEXICO**  
HESSIE PARK EXPANSION  
201 ROOSEVELT ST.  
CALEXICO, CA 92231

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Description: Date:  
 BD 587 01/23/23

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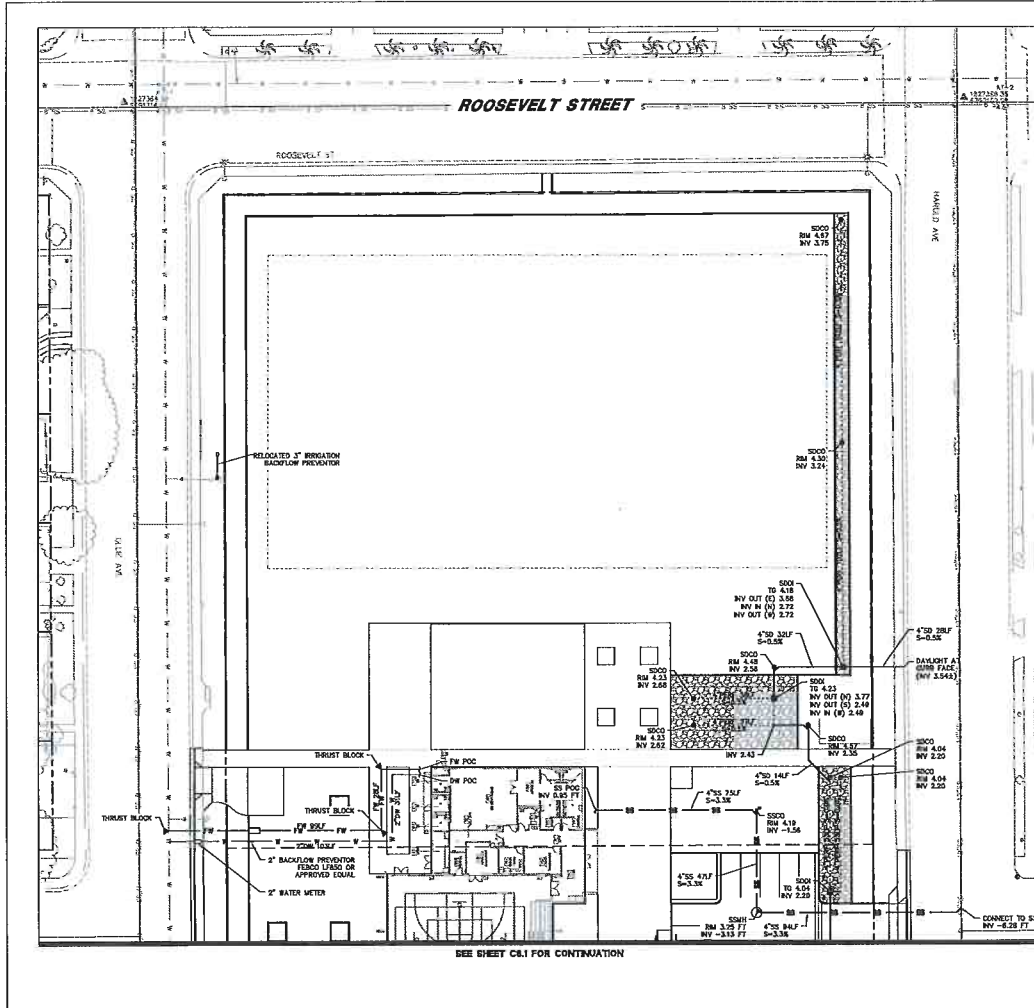
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 Approved by: BK  
 Checked by: M  
 Drawn by: M

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Sheet No: **GRADING PLAN**

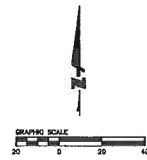
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C5.1



- LEGEND:**
- STREET CENTERLINE
  - EXISTING WATER LINE
  - EXISTING SANITARY SEWER LINE
  - EXISTING STORM DRAIN LINE
  - PROPOSED WATER LINE
  - PROPOSED FIRE WATER LINE
  - PROPOSED SANITARY SEWER LINE
  - PROPOSED STORM DRAIN LINE
  - CONCRETE CONNECTION LINE
  - 4" PERFORATED PVC PIPE
  - BIOTREATMENT FLOW LINE
  - PROPOSED DROP INLET LINE

- NOTES:**
1. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
  2. CONTRACTOR SHALL VERIFY ALL EX-SITU ELEVATIONS AND LATERAL LOCATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE CONSTRUCTION CONNECTION POINT. THIS WILL ALLOW FOR NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
  3. VERTICAL SEPARATION REQUIREMENTS: A MIN OF 6 INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES. EXCEPT THAT THE MIN VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL OTHER WATER PIPES SHALL BE TYP INSTALLED TO CROSS ABOVE POWER EX SANITARY SEWER PIPELINES. WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EX AND/OR NEW SANITARY SEWER PIPELINES, THE MIN VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE DIPS SHALL BE INSTALLED NO CLOSER THAN 12" MIN HORIZONTAL DISTANCE FROM THE CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.
  4. HORIZONTAL SEPARATION REQUIREMENTS: A MIN HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EX UTILITIES SHALL BE 5' EXCEPT THAT THE MIN HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10' UNLESS OTHERWISE NOTED. A MIN HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRIMMS SHALL BE 5'.
  5. DEVELOPER IS RESPONSIBLE FOR REPLACING ANY EXISTING LATERALS NOT FOUND IN FIELD OR FOUND TO BE DEFECTIVE.






**JKA ARCHITECTURE**

REGISTERED PROFESSIONAL ARCHITECT  
CALIFORNIA LICENSE NO. 12345

**PROJECT:**

CITY OF CALEXICO  
HEBER PARK EXPANSION  
201 ROCKEFELLER ST.  
CALEXICO, CA 92221

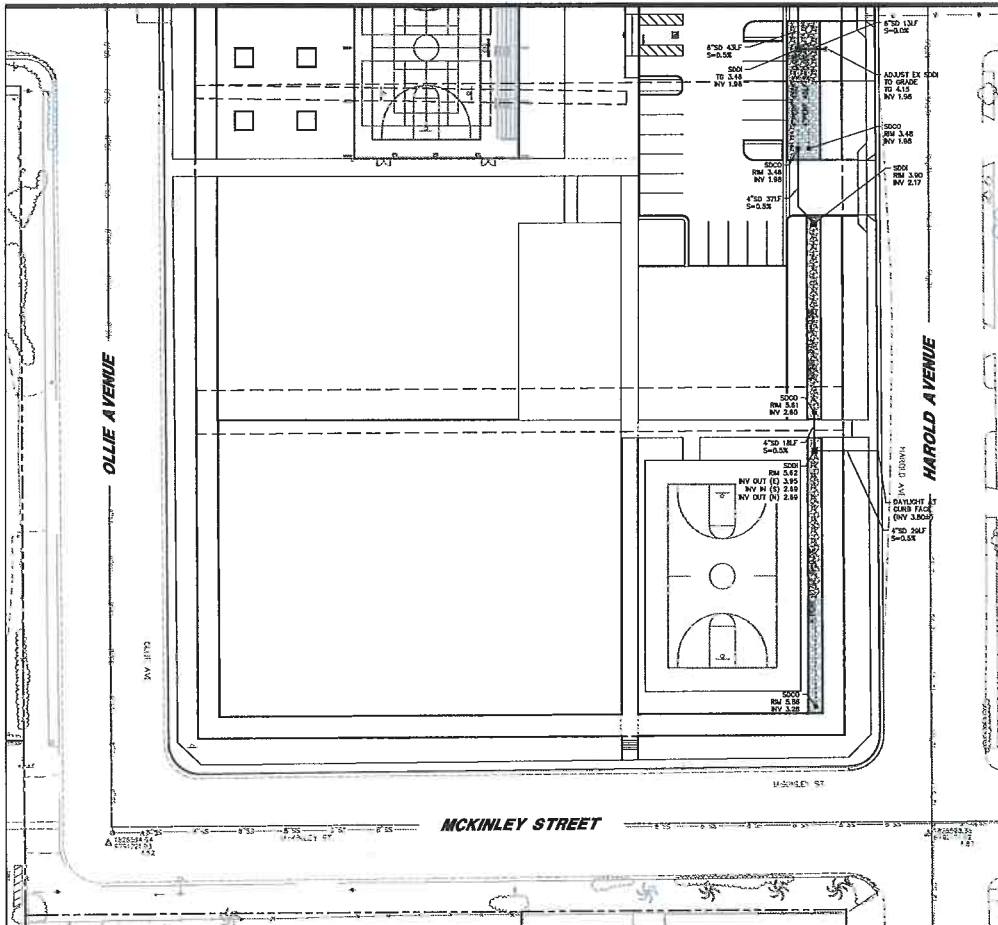


Project Number: 210203  
 Approved By: JK  
 Checked By: MK  
 Drawn By: MK  
 Sheet Title: UTILITY PLAN

Description: BD SET      Date: 01/23/23

**C6.0**

SEE SHEET C6.0 FOR CONTINUATION



**LEGEND:**

- STREET CENTERLINE
- EXISTING WATER LINE
- - - EXISTING SANITARY SEWER LINE
- - - EXISTING STORM DRAIN LINE
- PROPOSED WATER LINE
- - - PROPOSED SEWER LINE
- PROPOSED STORM DRAIN LINE
- CONCRETE CONNECTION LINE
- - - 4" PERFORATED PVC PIPE
- FLOW LINE
- PROPOSED DROP MALET LINE

**NOTES:**

1. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
2. CONTRACTOR SHALL VERIFY ALL DEPTH EXISTING AND LATERAL LOCATIONS FOR STORM DRAIN AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THE WORK SHALL ALLOW FOR NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FEELS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
3. VERTICAL SEPARATION REQUIREMENTS: A MIN OF 6 INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY LINES. EXCEPT THAT THE MIN VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE 1/2" INSTALLED TO CROSS ABOVE/UNDER EX SANITARY SEWER PIPELINES. WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EX AND/OR NEW SANITARY SEWER PIPELINES, THE MIN VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 12" MIN HORIZONTAL DISTANCE FROM THE CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.
4. HORIZONTAL SEPARATION REQUIREMENTS: MIN HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND EXISTING PIPELINES SHALL BE 2'. EXCEPT THAT THE MIN HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 12" MIN. UNLESS OTHERWISE NOTED, 8" MIN HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5'.
5. DEVELOPER IS RESPONSIBLE FOR REPLACING ANY EXISTING LATERALS NOT FOUND IN FIELD OR FOUND TO BE DEFECTIVE.



**JKA ARCHITECTURE**  
 201 ROOSEVELT ST.  
 CALEDONIA, MI 49824



**PROJECT:**  
 CITY OF CALEDONIA  
 HEBER PARK EXPANSION



Discipline: SD SET Date: 01/23/20

Project Number: 210203  
 Approved By: [Signature]  
 Checked By: [Signature]  
 Drawn By: [Signature]  
 Sheet No: [Blank]  
**UTILITY PLAN**

**C6.1**